

# Live Oak Street Corridor Overlay District



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2018 – The Board of Commissioners endorsed the Small Area Plan developed by Stantec which included future concepts of the southern portion of the Live Oak Corridor.



In 2019 a draft of the lower portion of Live Oak Street Overlay District was sent to the Planning Board for Comment as well as a portion of Cedar Street. One comment was that the Planning Board wanted staff to consider the properties on the west side of the overlay district even if they did not match the CAMA Land Use Plan.



Also since the initial discussion with the Planning Board NCDOT has provide the Town with two concepts of improvements at the intersection of Lennoxville & Live Oak. The first concept shows the intersection without a round-about and the other with a round about



Since the 2019 discussion with the Planning Board the Staff has been reworking the proposal to address the previous concerns.



# Live Oak Street Corridor Overlay District

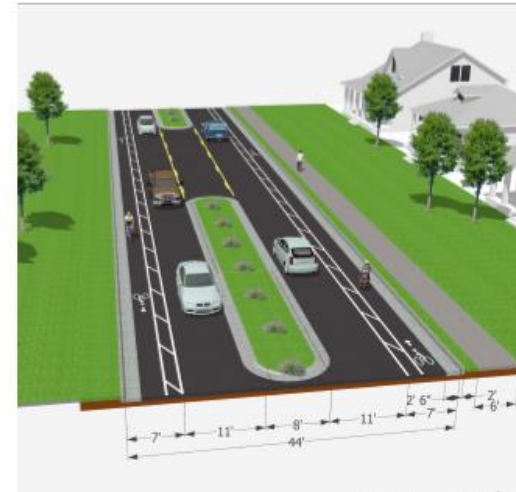
DRAFT SPRING 2018

6 MOBILITY AND URBAN DESIGN | 6.3 Concept Designs 75

**Live Oak Street** (from Cedar Street to NC 101): This section of Live Oak Street is currently 4 lanes with a posted speed limit of 35 MPH. Local speed measurements have been recorded with 25% of the speeds in excess of 45 MPH, making this one of the most dangerous roads (i.e., travel safety) within the Town of Beaufort. With the shift in traffic demand created as a result of the new US 70 Bypass, a significant drop in traffic is expected along this corridor. With this in mind, it is recommended to implement a “road diet” and rebuild this section of Live Oak Street to accommodate a 2-lane divided (with plantable median islands) and 3-lane cross section as indicated on the concept designs. Buffered and/or protected bike lanes should be installed between Cedar Street and NC 101, making a healthy connection to the future Cedar Street community park (west of Live Oak) as well as the proposed multi-use path along Live Oak Street north of NC 101. These improvements could be accommodated all within the existing curb to curb width. In some cases, curb displacement may be required at specific intersections to accommodate proper turn lanes (to be determined during final design).

This segment of Live Oak Street includes recommendations for intersection treatments (for bicycle and pedestrian crossings) at Cedar Street, Mulberry Street, Loftin Lane and NC 101, minor upgrades for sidewalks (i.e., upgrades as well as closing the gaps). Additional improvements include:

- Replacing and maintain damaged curb & gutter and drainage inlets where appropriate.
- Adding canopy street trees and ADA compliant ramps as indicated on concept designs.



Proposed cross-section

See larger inset on page 80 & 81



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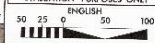




# ALTERNATIVE - 1

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CONCEPTUAL DESIGN, SUBJECT  
TO CHANGE WITHOUT NOTICE.  
EVALUATION FOR DESIGN ONLY.  
NOT FOR CONSTRUCTION.



NO.	DATE	DESCRIPTION
1	8-14-03	PRELIMINARY DESIGN
2	8-14-03	FINAL DESIGN
3	8-14-03	CONSTRUCTION
4	8-14-03	MAINTENANCE
5	8-14-03	REPAIRS





# ALTERNATIVE - 2

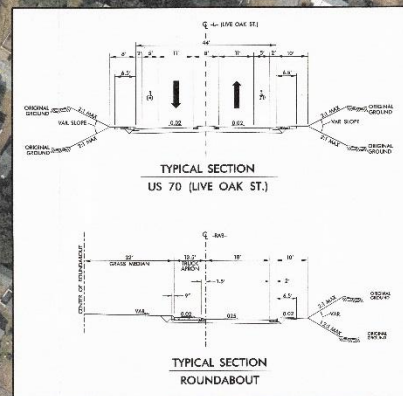
PREPARED IN THE OFFICE OF  
PENDING TRANSPORTATION  
PROFESSIONALS FIRM  
BY: [Signature]  
FOR THE NORTH CAROLINA  
DEPARTMENT OF TRANSPORTATION

CONCEPTUAL DESIGN SUBJECT  
TO CHANGE WITHOUT NOTICE  
EVALUATION PURPOSES ONLY  
50 25 0 25 50  
ENGLISH  
100



— CURVE DATA —

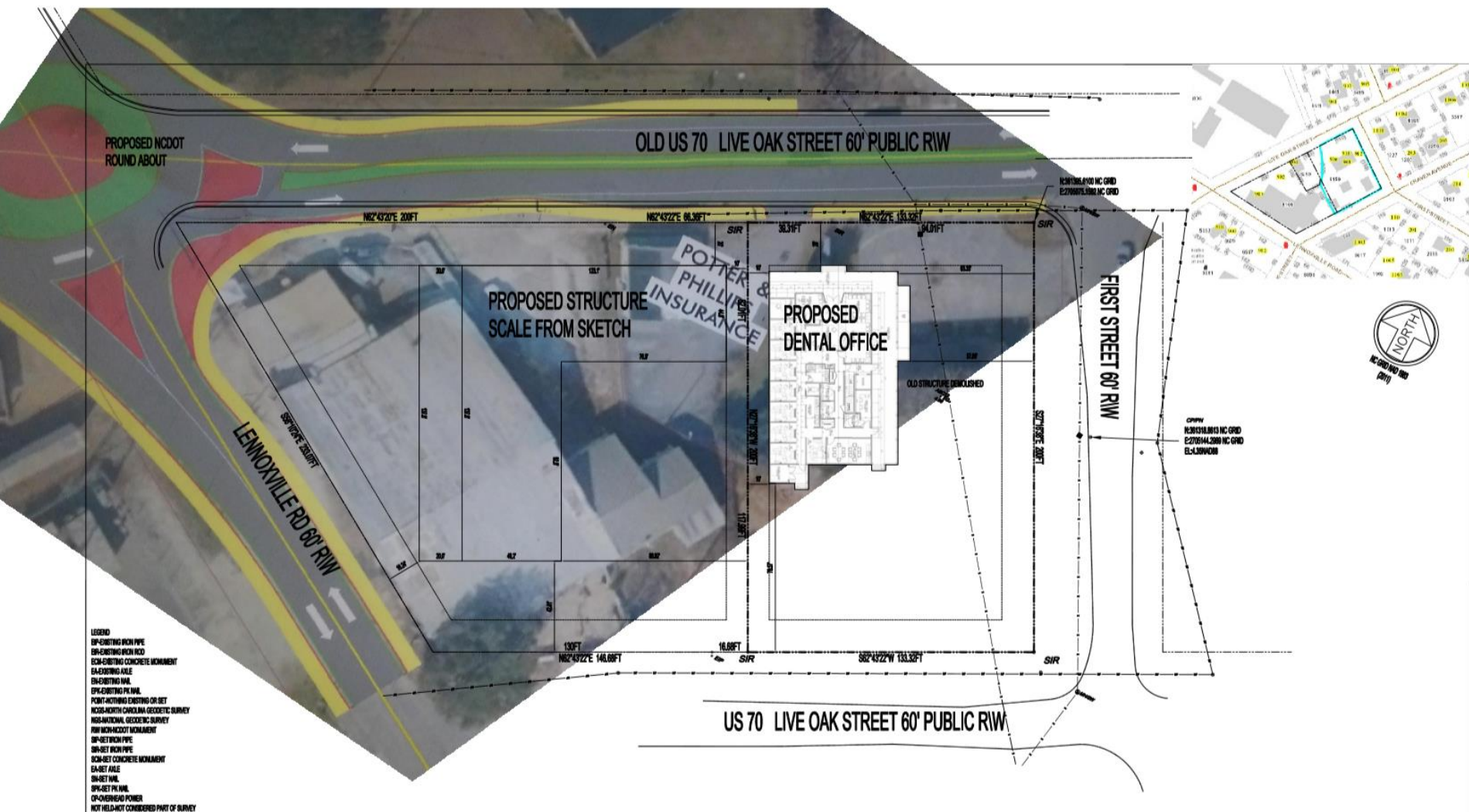
PI Sta 15+72.38	PI Sta 21+54.86	PI Sta 23+59.84
Δ = 10° 30' 50.5" RT	Δ = 10° 43' 20.0" LT	Δ = 10° 30' 50.5" LT
D = 15' 0" 0.05	D = 15' 0" 0.05	D = 15' 0" 0.05
L = 345.4'	L = 447.5'	L = 345.4'
T = 75.55'	T = 75.55'	T = 75.55'
E = 252.00'	E = 252.00'	E = 252.00'



FEASIBILITY MAP  
PROJECT R-5946 (H159883)  
CARTERET COUNTY  
PROPOSED ROADWAY IMPROVEMENTS AT  
US 70 (LIVE OAK STREET) AND  
SR 119 (LENNOXVILLE ROAD)











## Legend


 Live Oak Overlay Lower

### Future Land Use

 Conservation & Open Space


 Public & Institutional

 Low Density Residential


 Medium Density Residential

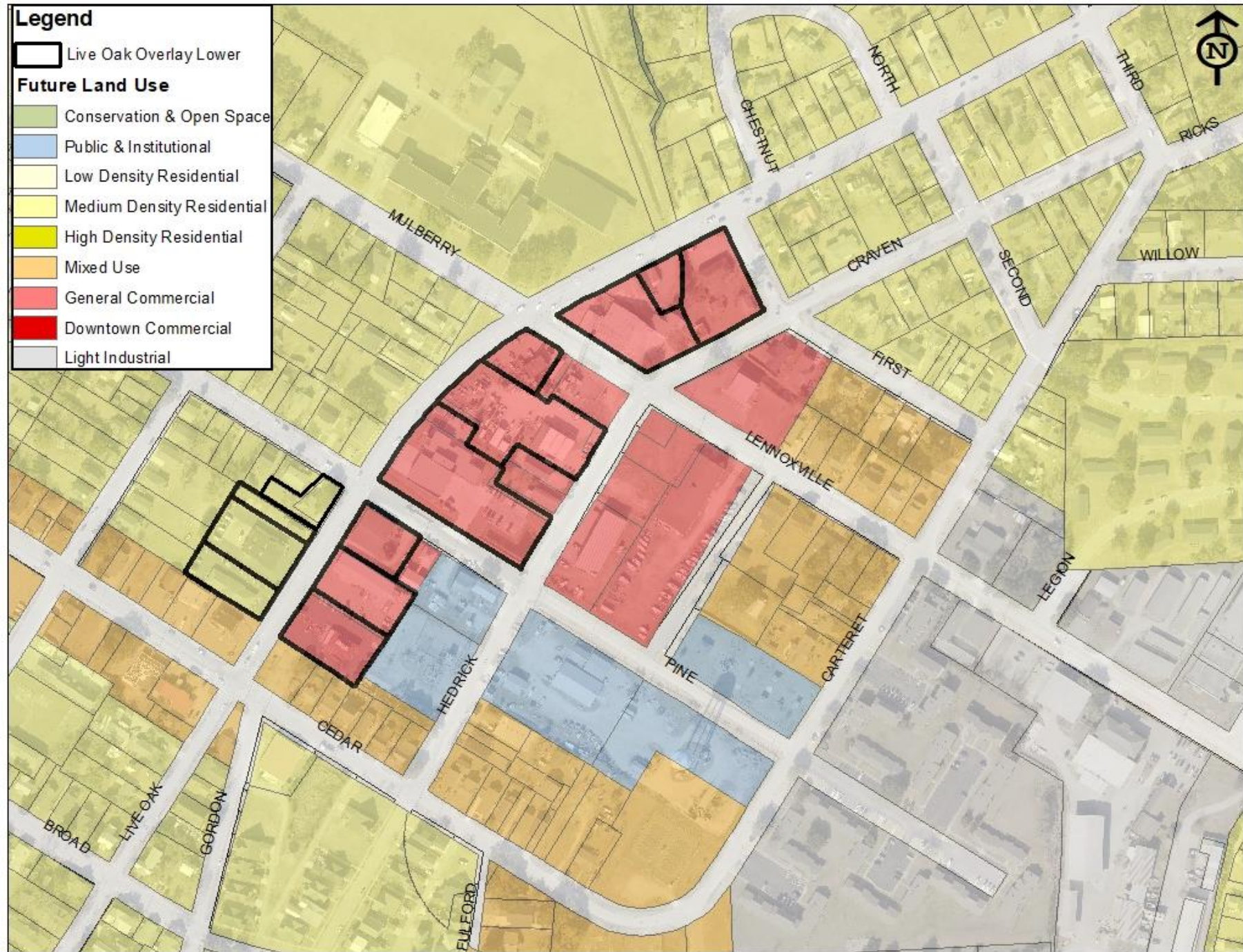
 High Density Residential

 Mixed Use

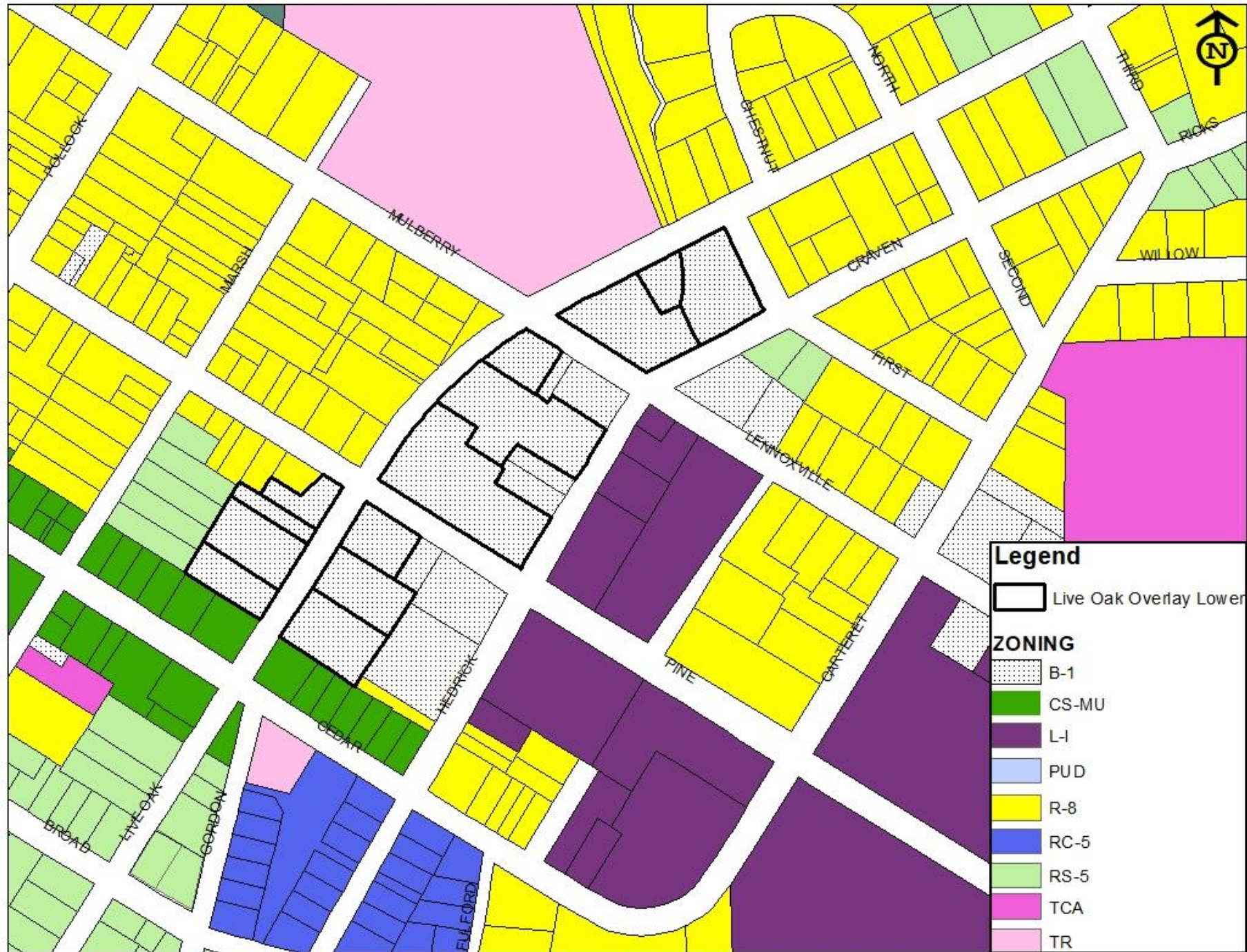
 General Commercial

 Downtown Commercial

 Light Industrial









### ***Live Oak Street Corridor Overlay District***

1) **Purpose.**

The purpose of this overlay district is to protect, enhance and guide the development of the Live Oak Street commercial corridor by reducing visual clutter through the implementation of commercial design standards. These standards are designed to improve the aesthetics, traffic congestion and provide for a solid and vibrant tax base as well as promote the public health, safety and welfare of the town.

2) **The Live Oak Street Corridor Overlay District** for the Town of Beaufort, as set forth on a map so entitled and dated 00-00-0000, is hereby adopted by reference as an element of the *Land Development Ordinance* hereafter known as the *LDO*, and the Official Zoning Map of the Town of Beaufort.

3) **Permitted Uses.**

The underlying uses, with the exception of single-family residential uses, located within the Live Oak Street Corridor Overlay District shall be subject to the Development Standards listed below.

4) **Prohibited Uses.**

Any use not listed in underlying zoning districts is prohibited.

5) **Development Standards.**

a) **Design Criteria.**

The intent of the following design criteria is to maintain and strengthen the unique character of Beaufort's gateway corridors by insuring new development projects are architecturally compatible with the historic characteristics of the community. These characteristics include building forms, proportions, treatments, exterior materials, and architectural styles. It is intended for front elevations and overall massing of new structures shall be of human scale and related to the street.

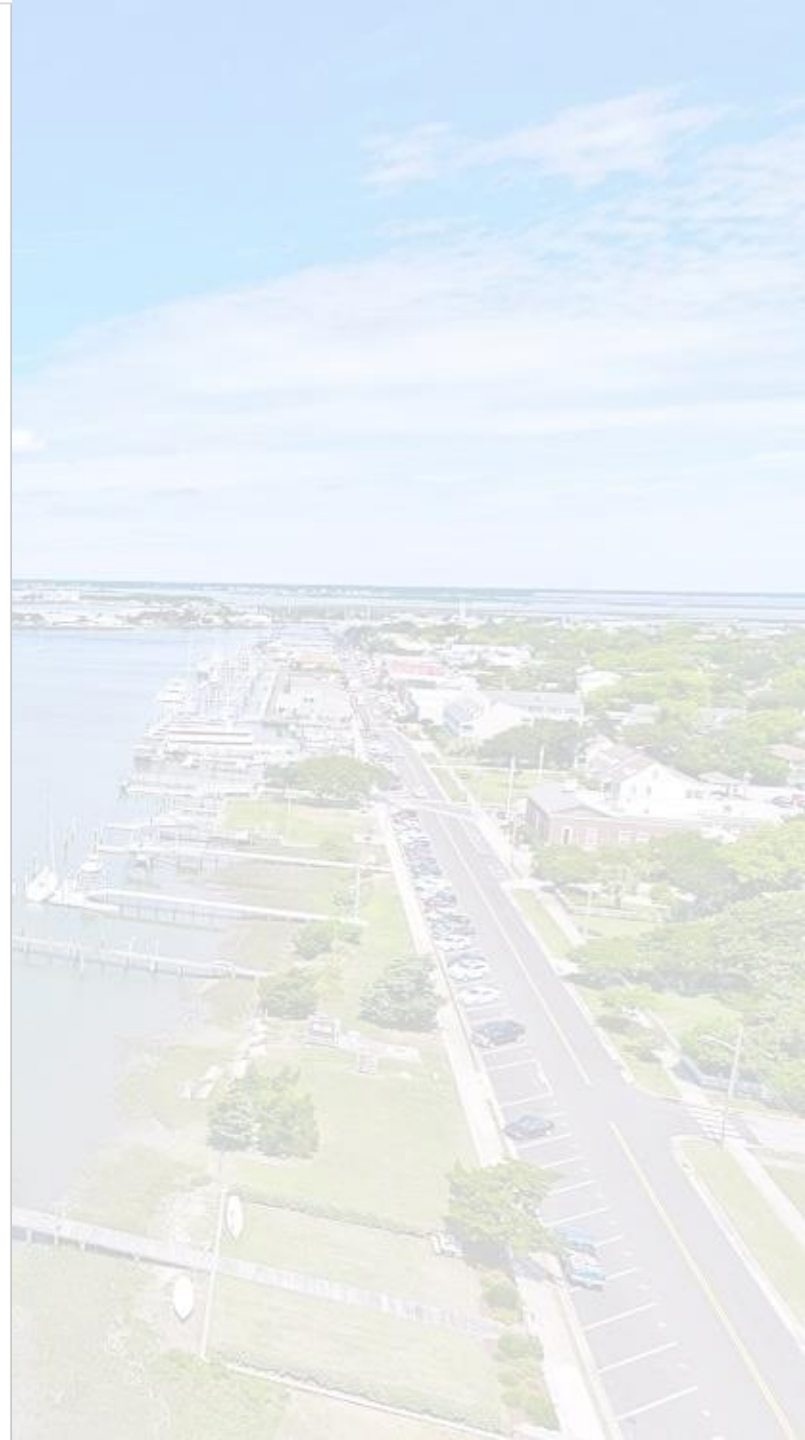
It is not the intent for new structures to closely duplicate existing historic structures. The intent is for new structures to include elements in ways which achieve a design compatible with and complementary to the historic character of the Town.

b) **Site Plan Submission.**

A detailed site plan, meeting all N.C. State Building Codes and Town Ordinances, shall be required for all development within this overlay zone.

c) **Signage.**

- i) Only ground/monument type signs made of wood or substitute materials which have the appearance of wood are permitted. These signs shall also not exceed twenty-five square feet (25 ft<sup>2</sup>) in area or eight feet (8') in height.
- ii) The use of internally lit or flashing signs of any kind is prohibited. The use of ground-mounted spotlights concealed by landscaping to light signs during night hours is acceptable.





- iii) The total square footage of wall signage allowed shall not exceed seventy-five percent (75%) of the total lot frontage.
  - iv) All existing freestanding signage will have a period of five (5) years to come into compliance with subsection i) of this section. At the end of the five (5) year amortization period, the Town will follow code enforcement violation procedures that may include fines and the removal of signage by the Town.
- d) Landscaping.  
A detailed landscape plan identifying all shrub and tree types as well as the number of such trees and shrubs shall be submitted for review and approval as per section 14 of the LDO. Additionally if developing adjacent to a different type of land use, a screening and buffering plan shall be required.
- e) Exterior Siding Materials.  
The primary siding material constituting a minimum of eighty 80% of the exterior shall be one or a combination of two of the following materials:
- i) Brick;
  - ii) Stone: Natural, Limestone or Granite;
  - iii) Fiber Cement Siding; (Lap or Board & Batten Siding); and/or,
  - iv) Treated Wood excluding plywood (Bead Board & Batten or Clapboard Design only)
  - v) Cedar Shake
  - i) Other materials or combinations there of can be submitted to the Planning Board and Board of Commissioners for consideration. Detailed elevation drawings and product specifications shall be required
- f) Outside Walls.
- i) The total area of glass, windows, and/or any similar transparent areas for any side of a commercial structure shall not exceed thirty-five (35%) of the surface area for such side of the building and must be positioned uniformly along the face of the structure. This percentage may be increased if it needs to meet the state fire code.
  - ii) Each exterior wall of a building viewable from any public or private right-of-way shall incorporate architectural design features to create a visual break at least every one hundred feet (100') along the exterior wall in order to avoid a box like appearance. All plans for exterior walls shall be approved by the Board of Commissioners as part of the site plan approval process.
- g) Roof Forms.
- i) Roof forms shall be similar to those used on historic structures. The dominant shape shall be gabled, hipped or parapet. If pitched the minimum pitch shall be five over twelve (5/12). Gable ends shall face the street.
- h) All roof top mounted equipment shall be fully screened from view and the method of screening shall be integrated into the overall building design, for example within or





behind pitched roofs. Hipped or gabled roofs with a mechanical element will not be considered mansard roofs when the roof appears to be a true hipped or gabled roof design.

i) Driveway Limitations.

- i) Two driveways entering the same street from a single lot shall only be permitted if the minimum distance between the closest edges of the driveways equals to or exceeds one hundred feet (100').
- ii) In no case shall the total width of all driveways exceed fifty percent (50%) of the total property frontage.
- iii) No driveway shall be located within ten feet (10') of an adjacent property except in the case of a shared driveway utilized by two or more lots.
- iv) No driveway shall be located within a hundred feet (100') of an intersection except in cases where no other access to a public street is available.

j) Parking.

Parking and vehicle accommodation areas (VAAs) shall meet the requirements set forth in section 15 of the LDO.

k) Exterior Drawings.

Exterior elevation drawings shall be submitted in color to determine the visual break of exterior walls and the color palate chosen for the structure or structures.

Table 10-1 Corner Lot and Interior Lot Requirements for Commercial Use

District	Designated Front (Right-of-Way) Setback	Designated Side (Right-of-Way) Setback	Rear Setback	Side Setback	Building Height Limitation
	15 feet minimum	15 feet	15 feet	10 feet	40 feet
	20 feet maximum	15 feet	15 feet	10 feet	40 feet

**NOTE:** If this Zoning District is added to the Overlay/Conservation Zoning Districts Table of Uses (currently on page 127 of the LDO), that table will be relabeled to Table 10-3. This will likely happen after review by the BOC.

a) Exterior Elevation Drawings. (Commercial & Mixed-Use Structures Only)

Exterior elevation drawings shall be submitted to determine the visual break of exterior walls for the structure or structures.





# Legend

Live Oak Overlay - Upper

## FUTURE LAND USE

Conservation & Open Space

Downtown Commercial

General Commercial

High Density Residential

Light Industrial

Low Density Residential

Medium Density Residential

Mixed Use

Public & Institutional





