

# Short Term Rentals

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WHY SHOULD THEY BE REGULATED?

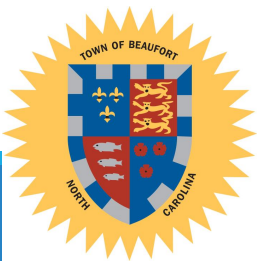
HOW CAN THEY BE REGULATED?

# Short Term Rental (STR) - Definition

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Rental of a residence (or part thereof) to a transient lodger for a limited duration, usually less than 30 days

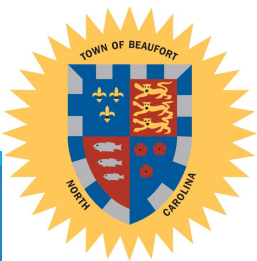
- Homestay: owner occupied. Owner is on-site while rooms/detached cottage is rented to guest
- Whole-house: no primary resident; entire property is rented to guests



# Why Regulate?

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- Maximizes Housing Availability and Affordability
- Preserve Neighborhood Character
- Provides for Health and Safety
- Generates Occupancy Tax Revenue
- Provides Regulatory Consistency



# Statutory Considerations - Regulations

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STRs subject to Vacation Rental Act & Periodic Inspection Statutes, which prohibit:

- Local ordinances that require a permit to lease STRs
- Requiring owners to enroll in any governmental program in order to get certificate of occupancy
- Levying a special fee or tax on STRs that are not levied on other commercial and residential property

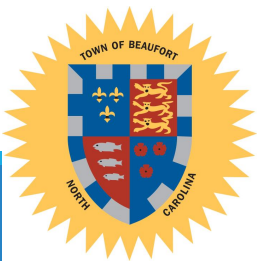


# Statutory Considerations - Regulations

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STRs may be regulated through zoning and development ordinances:

- Restrict to certain zoning districts
- Operational guidelines – parking capacity, occupancy limits, noise restrictions, responsible party designation, health & safety inspections, etc.
- Quantitative regulations – capping the number of units in a district or multi-unit building



# Discussion

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